

# Douglas County Community Services Kahle Community Center Improvements

## PWP - DO - 2018 - 043

Douglas County Community Services / Parks and Recreation  
P.O. Box 218  
Minden, Nevada 89423



Bid Documents  
11/8/2017

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project

**Kahle Community Center  
Improvements**

Douglas County Community Services  
P.O. Box 218  
Minden, Nevada 89423

revisions

no.	description	date

drawn by PC

reviewed by PC

date 11/8/2017

project number 17016

drawing name

Cover Sheet

sheet number

**A000**

## General Notes

1. The General Notes and all other notes herein apply to all work described in the Contract Documents.
2. The Contract Documents consist of the Agreement between the Owner and Contractor, the Conditions of the Contract ( General, Supplementary, Invitation to Bid, and other Conditions) , Drawings, Project Manual, Specifications, and Addenda issued prior to execution, and all modifications issued after execution of the Contract.
3. The Work includes the completed or partially completed construction required by the Contract Documents and includes all labor, materials, equipment, and services necessary to produce the Work.
4. The Contract Documents are complementary, the intent is to include all items necessary for the proper execution and completion of the Work by the Contractor.
5. The Contractor shall carefully study and compare the Contract Documents and shall at once report to the Architect any error, inconsistency, or omission that is discovered. The Contractor shall not perform any portion of the work at any time without Contract Documents.
6. The Contractor is required to visit the site as part of the pre-bid site visit to compare the Drawings and Specification and become familiar with any work in place and be informed of all conditions including the Work being performed. Failure to visit the site will in no way relieve the Contractor from necessity of furnishing any materials or performing any Work in accordance with the Contract Documents that may be required to complete the Work without additional cost to the Owner.
7. Drawings are not to be scaled for information.
8. In the event certain features of the Work are not fully shown in the Contract Documents, then the construction shall be of the same character as for similar conditions that are shown or called for and shall be reviewed by the Architect prior to execution.
9. All work shall be performed within strict conformance to the minimum standards of the current edition of the International Building Code (IBC) and all applicable national, state, and local laws, regulations, and ordinances. No exceptions.
10. The Contractor shall comply with notices give and required by lawful orders of public authorities applicable to the performance of the Work.
11. The Contractor shall coordinate locations of any and all items, including but not limited to: structural, mechanical, plumbing, electrical, lighting, data, voice, and audio/visual; including, but not limited to all structure, equipment, ductwork, piping, and conduit. Coordinate all required clearances for installation and maintenance of the above items.
12. The Contractor shall supervise and direct the Work, using the best skill and attention necessary, and shall be solely responsible for all construction means, methods, techniques, sequences, procedures, and for coordination of all portions of the Work described in the Contract Documents.
13. The Contractor shall be responsible for the acts and omissions of the Contractor's employees, Sub-contractors, and their agents and employees, and other persons or entities performing any portion of the Work under a Contract with the Contractor.
14. The Contractor shall perform the Work in a continuous and diligent manner to ensure Substantial Completion of the Project within the Contract Time.
15. The Contractor shall be responsible for the location and protection of all existing items and materials, all new construction items and materials, adjacent circulation paths (pedestrian and vehicular) , and other improvements during the course of construction.
16. Unless noted otherwise in the Contract Documents, the Contractor shall provide and pay for all labor, materials, equipment, tools, machinery, water, heating, utilities, transportation, and other facilities and services necessary for the proper execution and completion of the Work.
17. Where conflicts are encountered within the Contract Documents that will affect the quality or extent of the work, such conflict shall be resolved to the satisfaction of the Owner and Architect before the affected items and materials are purchased, fabricated, or installed.
18. Where conflicts occur at the Project site, coordinate the necessary layouts and exact locations of all elements of work in conflicting areas with the Architect in the field before proceeding with the Work.
19. Where pre-manufactured items and materials are to be installed, the Contractor shall verify all necessary dimensions in the field prior to the purchase and/or fabrication of the items and materials.
20. The Contractor warrants that materials and equipment furnished under the Contract will be of good quality and new unless identified otherwise in the Contract Documents.
21. The Contractor shall guarantee all work and materials to be free from defects for a minimum of one year from the date of substantial completion and promptly remedy such defects and any subsequent damage caused by the defects or repair thereof at no expense to the Owner. Guarantee periods of greater than one year may be required elsewhere in the Contract Documents.
22. Where any item or material is indicated in the Contract Documents, and not necessarily detailed in each specific case, but are required for a complete and professional installation, such item or material shall be provided as if shown and detailed in full. Contractor to provide all means and methods to furnish and install.
23. The Contractor shall employ a competent Project Manager, Superintendent, and necessary personnel. The Superintendent shall be in attendance at the Project site during execution of the Work.
24. The Contractor shall not employ ( for the Project at hand) a proposed project manager and/or superintendent, to whom the Owner and/or Architect have made a reasonable and timely objection. The Contractor shall not change the superintendent without the Owner's consent.
25. The Contractor is required to visit the Project site as part of the pre-bid site visit to compare the Drawings and Specification with existing conditions and be informed of all conditions including the Work being performed. Failure to visit the site will in no way relieve the Contractor from the necessity of furnishing any materials or performing any work in accordance with the Contract Documents that may be required to complete the work without additional cost to the Owner.
26. The Contractor shall be responsible for initiating, maintaining, and supervising all safety programs and precautions of the Project and Project site during the course of construction, all Work performed shall conform to applicable safety regulations .
27. The Contractor and/or Sub-Contractor shall promptly remedy damage to the Owner's property caused by the Contractor and/or Sub-Contractor to existing conditions and/or new construction.
28. The Contractor at all times shall keep the premises free from accumulation of waste materials or rubbish caused by work operations. At the completion of the Work the Contractor shall remove all waste materials and rubbish associated with the Work as well as all tools, construction equipment, machinery, and surplus materials.
29. The Contractor shall provide the Owner and Architect access to the Project site and Work wherever located.
30. Existing conditions including material sizes, configurations, and locations as shown in the Contract Documents may not be an exact illustration of existing conditions. The Contractor shall include in his bid the cost of furnishing, installing, modifying, existing and new materials required for a complete and professional installation that may be required by minor variation between existing conditions and actual conditions.
31. The Contractor shall promptly correct Work rejected by the Architect that fails to conform to the requirements of the Contract Documents, whether discovered before or after Substantial Completion.
32. Shop drawings, product data, and samples are not a part of the Contract Documents. The Architect will review such materials, but only for conformance with the design concept of the Work and with the information given in the Contract Documents. The Contractor shall not be relieved of responsibility for any deviation from the requirements of the Contract Documents by the Architect's review of shop drawings, product data, or samples.
33. The Architect has the authority to order minor changes in the Work not involving adjustment to the Contract Sum or extension of the Contract Time. Such orders shall not be inconsistent with the intent of the Contract Documents. Such minor changes will be issued in written format, signed by the Architect.

## Project Team

<b>Owner</b> Douglas County Community Services P.O. Box 218 Minden, Nevada 89423 Phone: (775) 790- 5212 Contact: Scott McCullough e-mail: smccullough@douglasnv.us	<b>Architecture</b> Paul Cavin Architect LLC 51 Marilyn Mae Drive Sparks, Nevada 89441 Phone: (775) 842-0261 Contact: Paul Cavin e-mail: paul@paulcavindesign.com
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## Sheet Index

A000 Cover Sheet  
 G100 General Information and Project Data  
 G101 Contractor Staging Areas

### ARCHITECTURAL

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## Design Criteria

### Applicable Codes and Regulations:

2012 International Building Code  
 2012 International Fire Code

Tahoe Regional Planning Agency  
 Douglas County Fire Protection District

## Project Data

<b>APN:</b>	1318-23-401-005
<b>Previous APN:</b>	0000-07-13-050
<b>Address:</b>	236 Kingsbury Grade Road Stateline, Nevada 89449
<b>Brief Project Description:</b>	Single ply membrane roof replacement and repairs. Metal roof alteration and repairs. Exterior CMU wall repairs. Interior flooring replacement.
<b>Site Area:</b>	17.72 Acres
<b>Original Year Constructed:</b>	1999
<b>Existing Building Type:</b>	V-A
<b>Existing Occupancy Group:</b>	B, A-3
<b>Change of Occupancy Group:</b>	none
<b>Existing Square footage:</b>	21,336 SF
<b>Existing Number of Stories:</b>	2 Stories
<b>Existing Building Height:</b>	34' from ground floor
<b>Fire Separations:</b>	Existing (no-modifications)
<b>Occupant Load:</b>	No change
<b>Fire Sprinklers:</b>	Yes (existing)
<b>Fire Alarm:</b>	Yes (existing)

## Abbreviations

@	At	In	Inches
#	Pound or Number	ID	Inside Diameter
(E)	Existing		
AC	Asphaltic Concrete	Lav	Lavatory
ACT	Acoustical Ceiling Tile	Lbs	Pounds
AFF	Above Finished Floor	LED	Light Emitting Diode
Alum	Aluminum	LF	Linear Feet ( foot)
AV	Audio Visual	Max	Maximum
		Mfrs	Manufacturer's
CF/CI	Contractor Furnished / Contractor Installed	Min	Minimum
CF/OI	Contractor Furnished / Owner Installed	Misc	Miscellaneous
		MO	Masonry Opening
CJ	Control Joint	NIC	Not in Contract
CL	Center Line	No	Number
CMU	Concrete Masonry Unit		
Conc	Concrete	OC	On Center
Cont	Continuous	OD	Outside Diameter
CPT	Carpet	OF/CI	Owner Furnished / Contractor Installed
CT	Ceramic Tile		
CTV	Cable Television	OF/OI	Owner Furnished / Owner Installed
Deg	Degree		
Demo	Demolition	Plam	Plastic Laminate
DF	Drinking fountain	PT	Paint
Dia	Diameter	PVC	Polyvinyl Chloride
Dim	Dimension		
DF	Drinking Fountain	R	Radius
		RCP	Reflected Ceiling Plan
Ea	Each	Rev	Revision
EJ	Expansion Joint	RO	Rough Opening
EWC	Electric Water Cooler	RWL	Rain Water Leader
FD	Floor Drain	SF	Square Foot ( feet)
FDC	Fire Department Connection	Sim	Similar
FE	Fire Extinguisher	SS	Stainless Steel
FEC	Fire Extinguisher Cabinet	T&G	Tongue and Groove
FF&E	Furniture, Fixtures and Equipment	T	Tempered
FRP	Fiber Reinforced Polyester	TO	Top of
Ft	Feet or Foot	Typ	Typical
Ga	Gage	UNO	Unless Noted Otherwise
Galv	Galvanized		
Gyp bd	Gypsum Board	VCT	Vinyl Composition Tile
		VIF	Verify in Field
HB	Hose Bib	WC	Water Closet
HC	Hollow Core	WD	Wood
HM	Hollow Metal	WH	Water Heater
HW	Hot Water		

## Symbols

	North	North Arrow
	Detail Number Sheet Number	Detail Indicator
	Detail Indicator	Detail Indicator
	Detail Indicator	Detail Indicator
	Detail Indicator	Detail Indicator
	Building Section Indicator	Building Section Indicator
	Wall Section Indicator	Wall Section Indicator
	Exterior Elevation Indicators	Exterior Elevation Indicators
	Interior Elevation Indicators	Interior Elevation Indicators
	Grid Line	Grid Line
	Room Tag	Room Tag
	Door Tag	Door Tag
	Window Tag	Window Tag
	Wall or Partition Type	Wall or Partition Type
	Accessory Tag	Accessory Tag
	Elevation Mark	Elevation Mark

## Kahle Community Center Aerial View



## Vicinity Map



project  
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 Douglas County Community Services  
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revisions


drawn by **PC**

reviewed by **PC**

date **11/8/2017**

project number **17016**

drawing name

## General Information and Project Data

sheet number

# G100

**Project Notes**

1. Coordinate construction operations, schedule, and sequencing with Douglas County Project Manager and Kahle Community Center staff.
2. Refer to the Project Manual and other Drawings for additional information and requirements.
3. Contractor is responsible for safety and security of the Contractor parking and staging area. Temporary fencing is recommended for securing construction materials, vehicles, equipment, etc. at the staging area.
4. The Contractor parking and staging area must maintain a clear path for emergency vehicles and crews to circulate around the building at all times.

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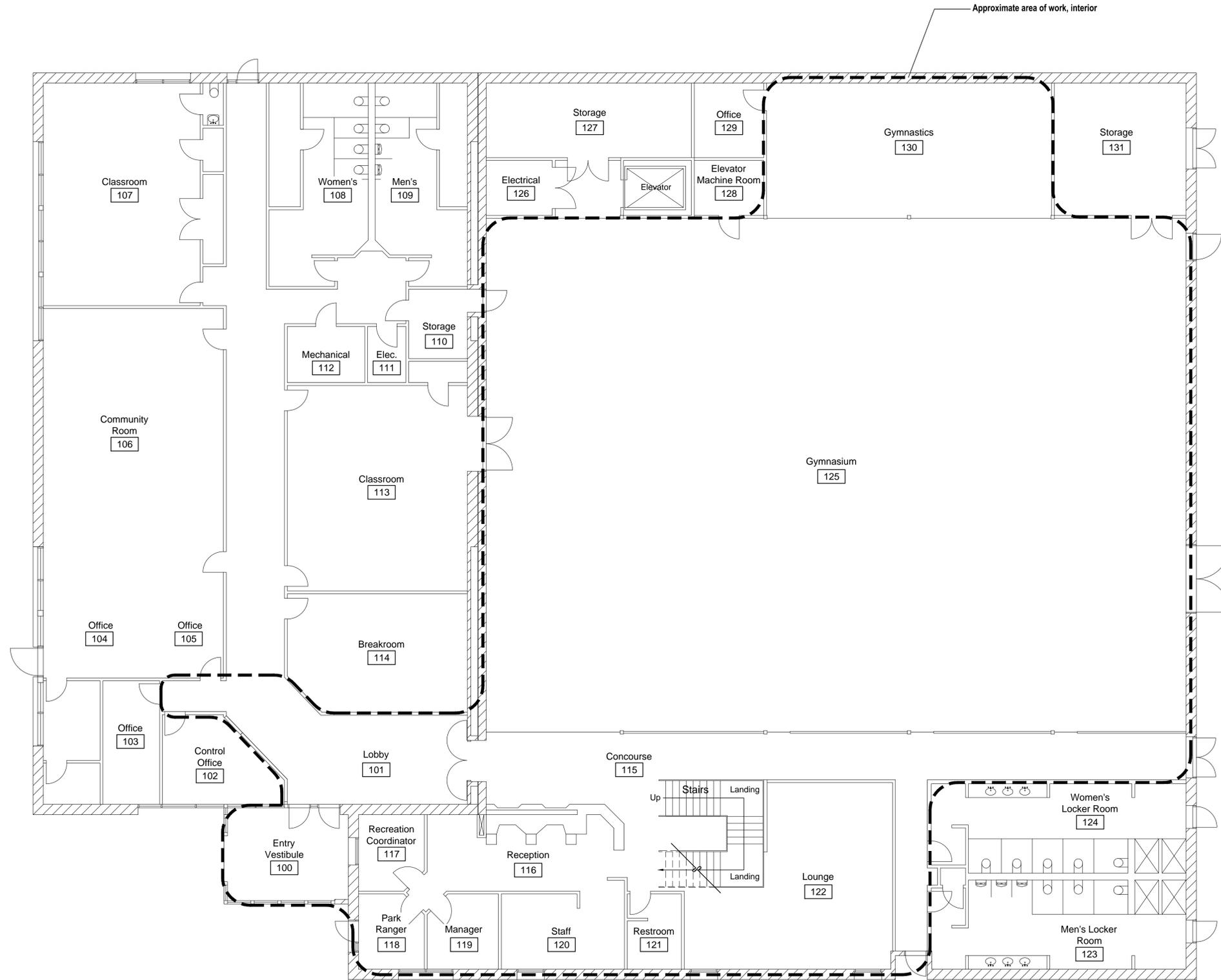
project number **17016**

drawing name

**Contractor  
Staging Areas**

sheet number

**G101**



### Floor Plan Notes

1. Coordinate construction operations, schedule, and sequencing with Douglas County Project Manager and Kahle Community Center staff.
2. Refer to other plans and detail drawings for additional information. Report any discrepancies found between the drawings and field conditions to the Architect prior to execution of the work.
3. The Contractor will be responsible for setting the exact limits of demolition and alteration required in order to perform the work.
4. The Contractor shall maintain a clean environment during all construction operations, and shall conduct a final cleaning of entire area of work at the conclusion of the project.
5. The Contractor shall protect existing finishes from construction traffic, cutting, and all construction activities.
6. The Contractor will be responsible for repairing any damage to the existing finishes due to construction activities related to the Kahle Community Center Improvements project.
7. Douglas County personnel to remove furniture, posters, etc. prior to the start of construction, unless specifically noted on drawings and/or specifications.
8. Hazardous Materials are not expected to be present in existing construction. If hazardous materials are suspected or discovered notify the Architect and Douglas County Project Manager immediately.
9. All fire alarm and fire suppression components shall be protected and remain in working condition during the course of demolition and construction.
10. A "procurement phase" will be utilized to allow the Contractor to gather materials needed for construction prior to the start of construction. This is intended to minimize construction duration impact to the occupants of the Kahle Community Center staff and patrons.
11. These drawings were prepared using original drawings and field investigation methods, the accuracy of these drawings reflects as such, the Contractor is responsible for field verifying and coordinating necessary dimensions in the field. If discrepancies are discovered that impact design and construction the Contractor is to notify the Architect for clarification.

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**Overall  
Building Plan -  
First Floor**

sheet number

**A001**

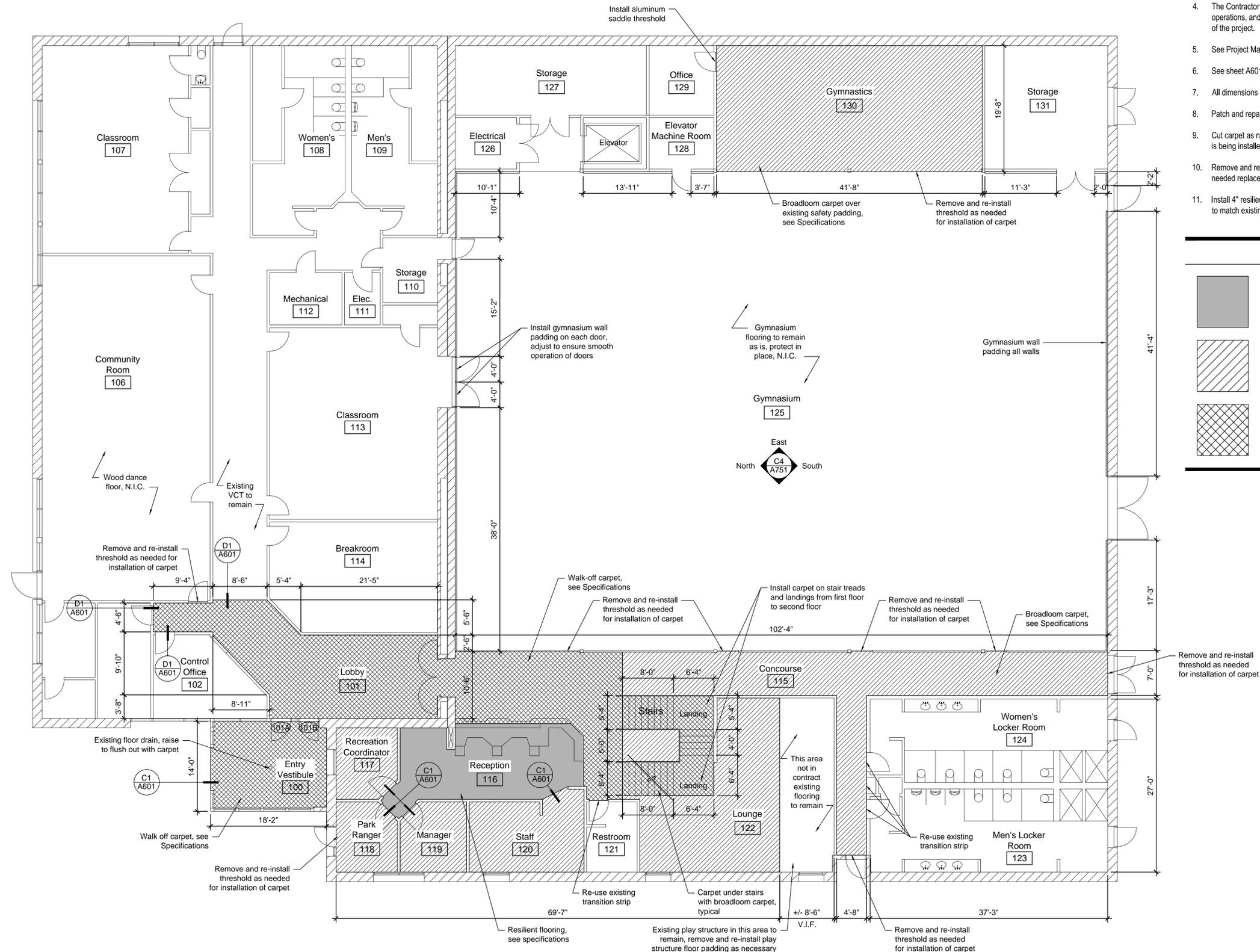
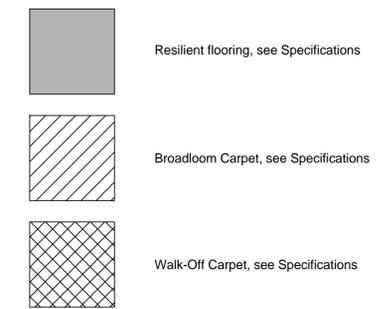




## Alteration Floor Plan Notes

- Coordinate construction operations, schedule, and sequencing with Douglas County Project Manager and Kahle Community Center staff. User will occupy the building and site during construction operations.
- All dimensions are from face of finish to face of finish, unless noted otherwise.
- The Contractor will be responsible for setting the exact limits of construction required in order to perform the work.
- The Contractor shall maintain a clean environment during all construction operations, and shall conduct a final cleaning of entire area of work at the conclusion of the project.
- See Project Manual for additional information and requirements.
- See sheet A601 for door modifications, improvements, and thresholds.
- All dimensions are approximate, verify all dimensions in the field.
- Patch and repair flooring where alteration work is performed.
- Cut carpet as needed for existing floor boxes and floor access panels where carpet is being installed.
- Remove and re-install all thresholds as necessary for installation of carpet. If needed replace damaged thresholds with ADA compliant thresholds.
- Install 4" resilient base at all locations of new carpet. Resilient base profile and color to match existing adjacent color, colors vary and should be verified in the field.

## Flooring Legend



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**Alteration  
Floor Plan -  
First Floor**

sheet number

**A101**



## Roof Demolition Notes

- The existing flat roof system is as follows:
  - Hypalon roof membrane over
  - two layers of 30# felt, over
  - lapered insulation board, over
  - 1-1/2" metal deck, on
  - steel trusses
- The existing metal roof system is as follows:
  - metal roofing over
  - 30# felt, over
  - 1-1/2" rigid insulation, over
  - 3/4" plywood wood sheathing, on
  - wood trusses at 16"o.c.
- Coordinate demolition operations, schedule, and sequencing with Douglas County Project Manager and Kahle Community Center staff.
- In the event that demolition work creates a condition where existing interior spaces are open to the weather, the Contractor shall protect the building from the effects of exposure to exterior conditions. The building shall be weather-tight at the conclusion of work each day. At the conclusion of work in a specific area the Contractor is to replace all removed components to a weather-tight condition to match adjacent finishes.
- Protect adjacent surfaces to remain from damage. Contractor is to repair or replace all finishes that are damaged or removed due to the installation or removal of materials, fixtures, accessories, or other items noted on the drawings. Repaired and/or replaced finishes shall match adjacent, existing surfaces.
- Care shall be given before, during, and after demolition to prevent damage to the existing roof systems.
- Remove existing metal flashing, copings, etc. and prep for new roofing.
- Remove all dirt and debris from existing roof.
- All dimensions are approximate, Contractor to field verify all necessary dimensions.
- Remove all vertical roofing material at parapet walls and transitions.
- Contractor to verify the existing condition of the roof system. If it is found that the existing system is water damaged, rotted, or not fit as a substrate, it shall be brought to the attention of the Douglas County Project Manager and Architect. The Contractor shall not proceed with work in affected area until written instruction is given.
- Remove all parapet coping as indicated on drawings.
- Remove and re-install as required, all electrical conduit, miscellaneous supports, and any equipment to facilitate the installation of the new roof system and coping system. Items are to be re-installed to original location and configuration in a manner not to void any warranties.
- All existing roof drains to remain. Contractor to clean and test each roof drain for proper function. If it is found that a roof drain is damaged, leaking, or in need of replacement, it shall be brought to attention of the Douglas County Project Manager and Architect. The Contractor shall not proceed with work in affected area until written instruction is given.
- Refer to Project Manual and specifications for additional information and requirements.
- Hazardous Materials are not expected to be present in existing roof construction. If hazardous materials are suspected or discovered notify the Douglas County Project Manager and Architect immediately.
- Contractor to verify the existing condition of all new flashing and flashing to remain and ensure it is water tight. The Contractor shall make the necessary modifications and/or replacement of the flashing as necessary.

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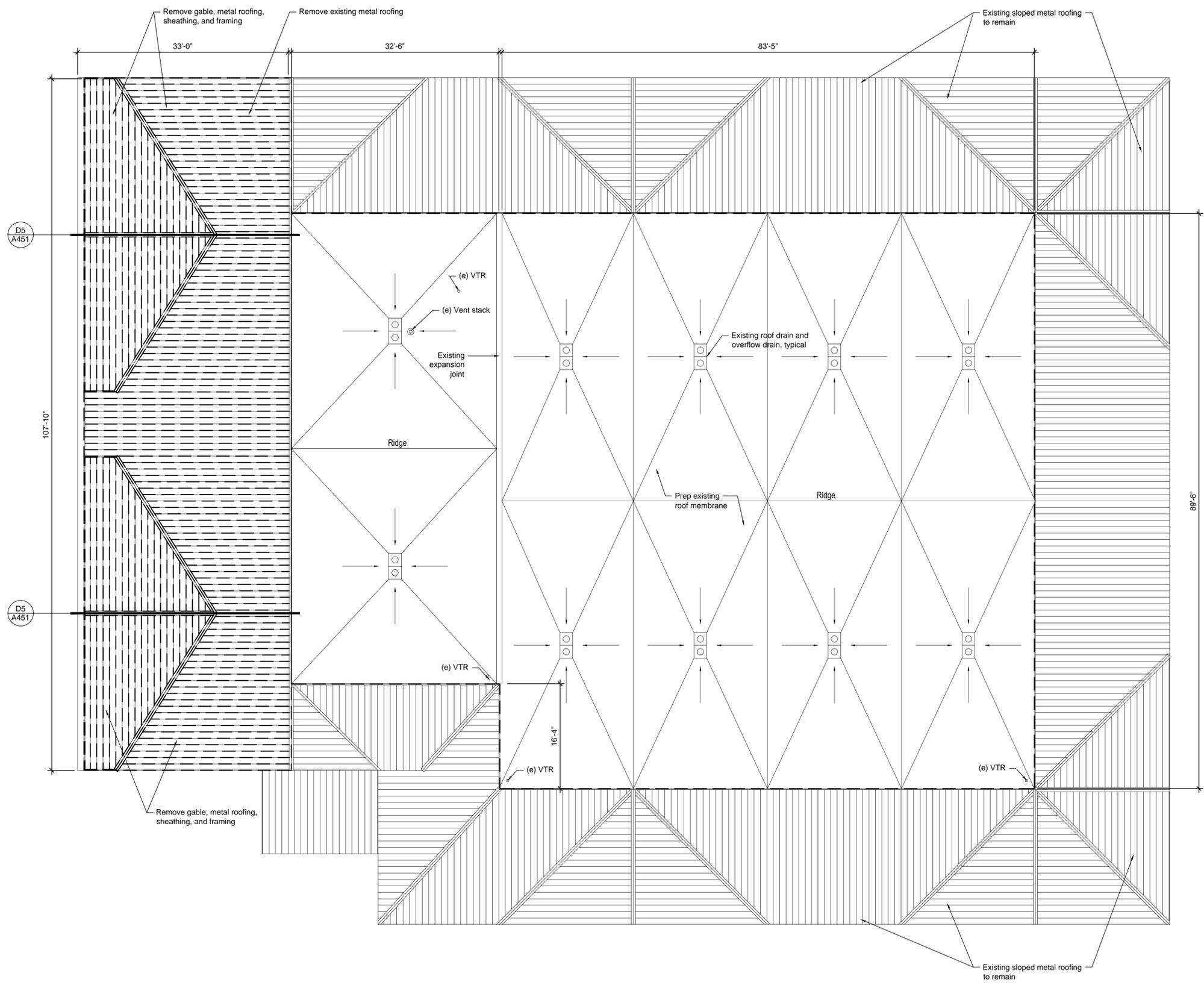
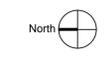
**Demolition  
Roof Plan**

sheet number

**A200**

## Roof Demolition Legend

- Existing wall or material to remain
- Remove material or component indicated
- Roof slope
- VTR
- Existing roof drain and overflow drain to remain







NO.	DESCRIPTION	DATE

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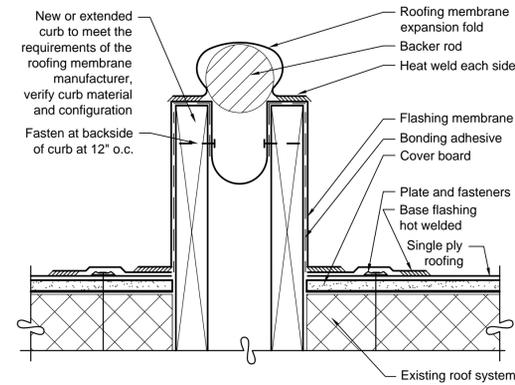
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drawing name

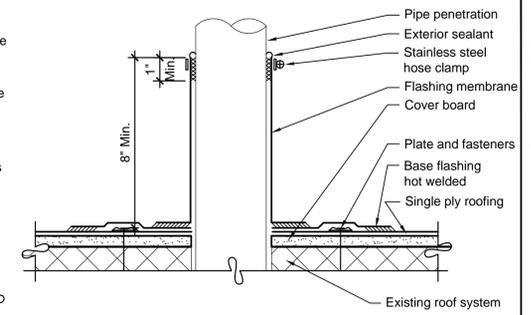
**Roof Details**

sheet number

**A281**



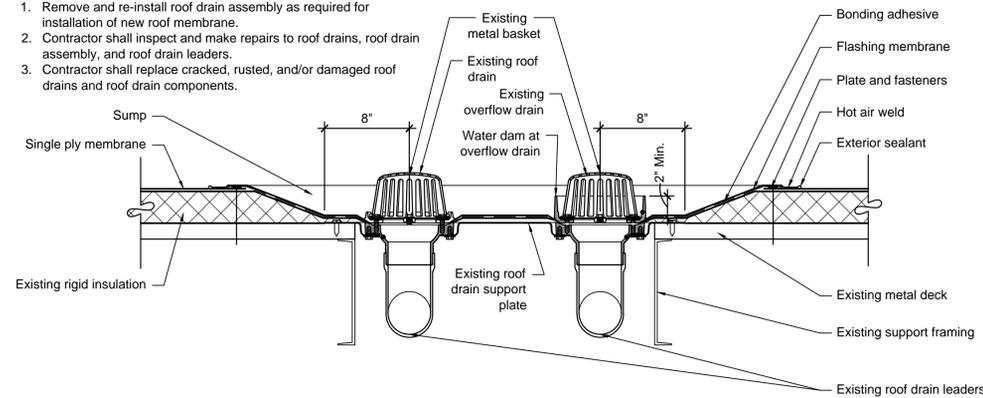
**A2** Expansion Joint  
3" = 1'-0"



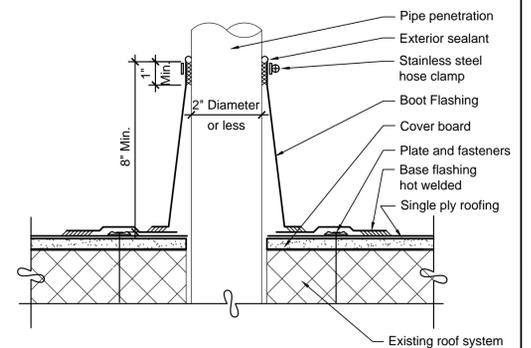
**A1** Large Pipe Penetration Flashing  
3" = 1'-0"

**Notes:**

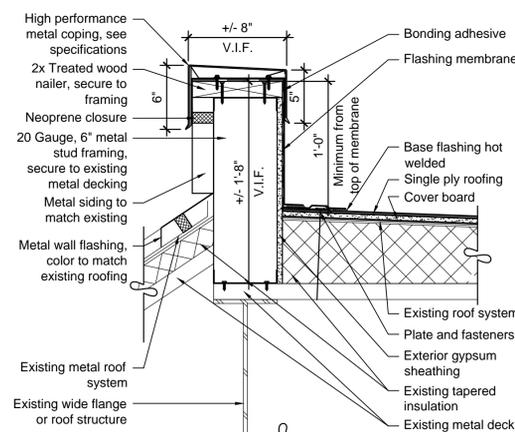
1. Remove and re-install roof drain assembly as required for installation of new roof membrane.
2. Contractor shall inspect and make repairs to roof drains, roof drain assembly, and roof drain leaders.
3. Contractor shall replace cracked, rusted, and/or damaged roof drains and roof drain components.



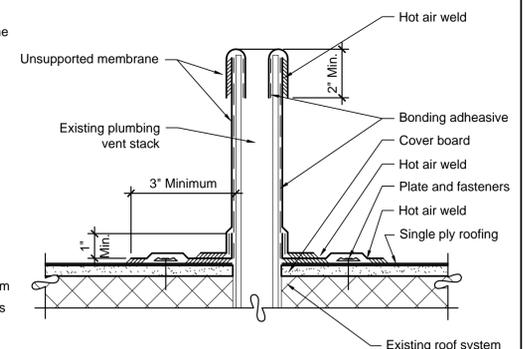
**B3** Roof Drain and Overflow Drain  
1 1/2" = 1'-0"



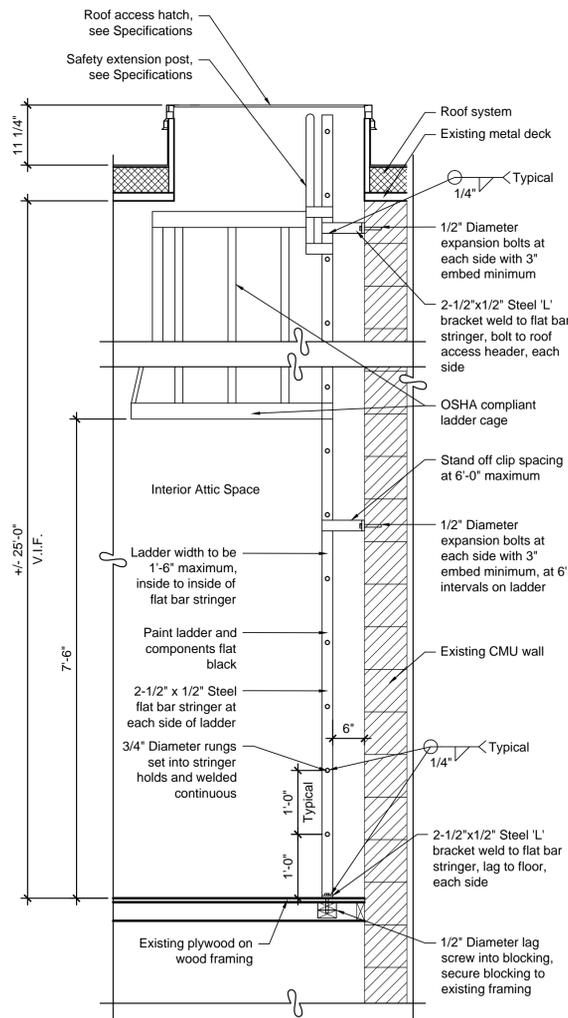
**B1** Small Pipe Penetration Flashing  
3" = 1'-0"



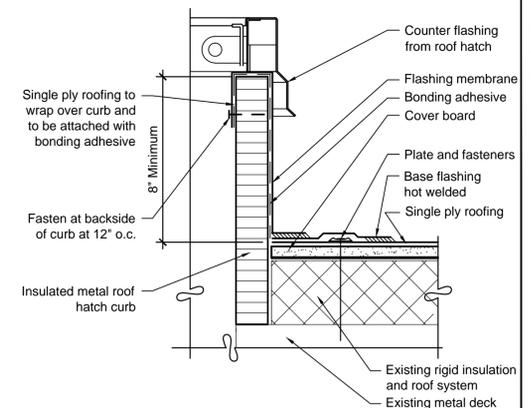
**C2** Parapet and Coping  
1 1/2" = 1'-0"



**C1** Vent Through Roof (VTR) Flashing  
3" = 1'-0"



**D4** Roof Access Ladder  
3/4" = 1'-0"



**D1** Roof Hatch Flashing  
3" = 1'-0"

## Exterior Elevation Notes

- Existing exterior CMU wall system consists of 4" CMU face block over 12" CMU structural block.
- Existing exterior CMU is Basalite 101 Tan.
- Clean and seal all exterior CMU, see specifications
- Contractor's option to re-construct ice dams in lieu of repairs and modifications, see details C1 and D1 this sheet for ice dam information.

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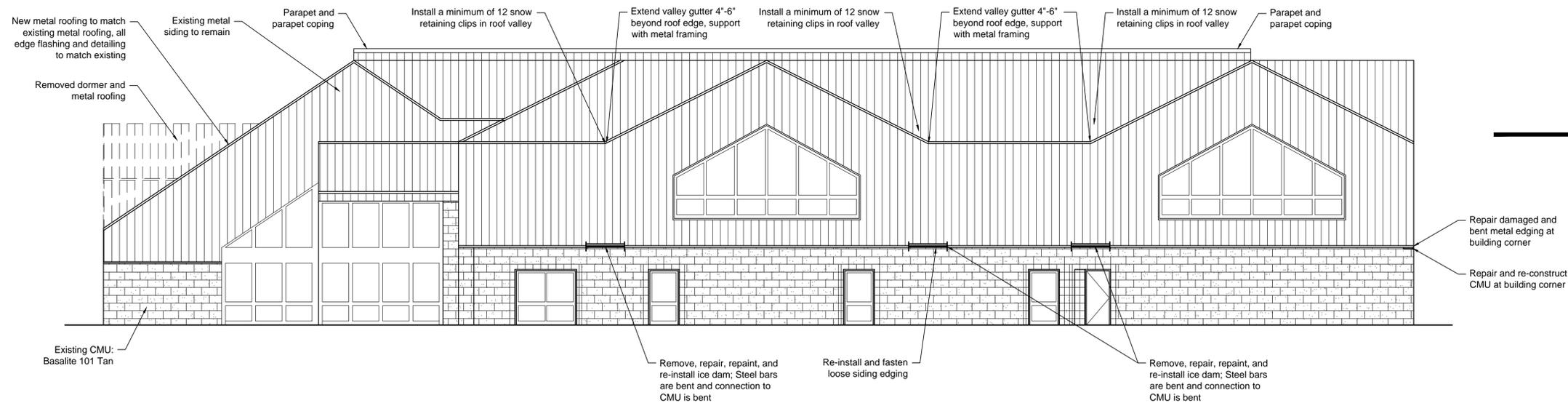
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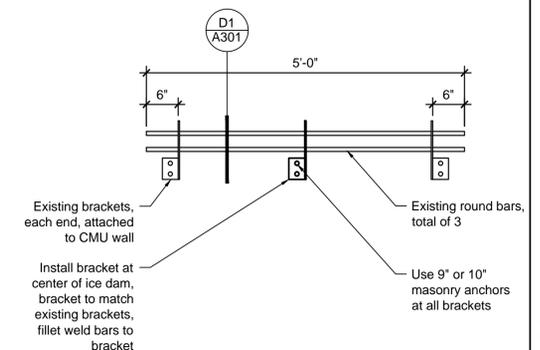


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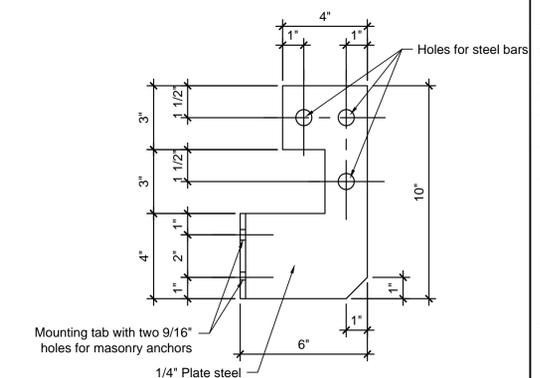
**B5** West Elevation  
1/8" = 1'-0"

Note: Powder coat ice dams to match existing building siding (dark green) verify color in the field, custom color as needed.

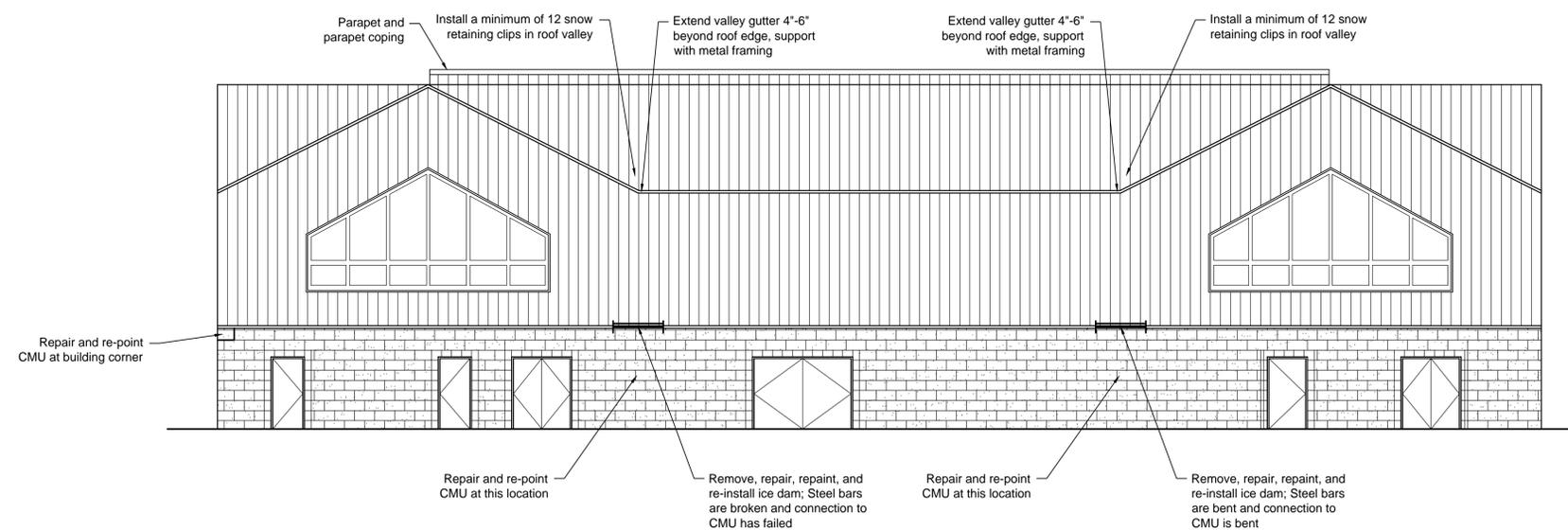


**C1** Ice Dam Elevation  
3/4" = 1'-0"

Note: Verify all dimensions in the field with existing ice dam brackets.



**D1** Ice Dam Section  
3" = 1'-0"



**D5** South Elevation  
1/8" = 1'-0"

project

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drawing name

**Exterior  
Elevations**

sheet number

**A301**

## Exterior Elevation Notes

- Existing exterior CMU wall system consists of 4" CMU face block over 12" CMU structural block.
- Existing exterior CMU is Basalite 101 Tan.
- Clean and seal all exterior CMU, see specifications.
- Contractor's option to re-construct ice dams in lieu of repairs and modifications, see details C1 and D1 on sheet A301 for ice dam information.

**Paul Cavin  
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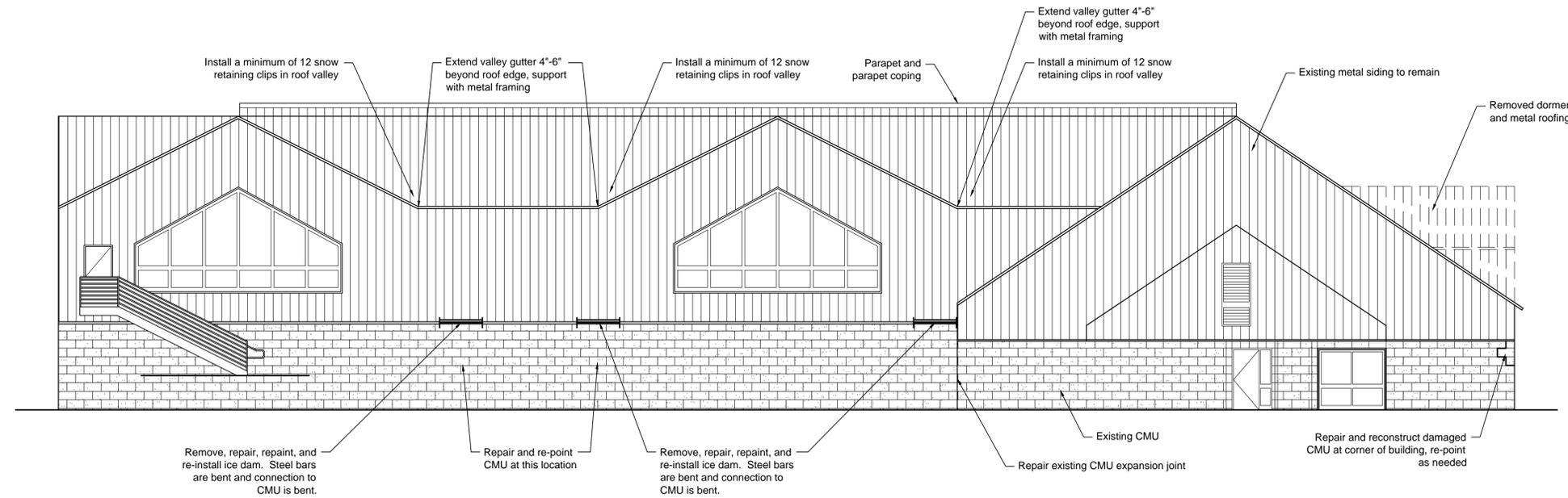
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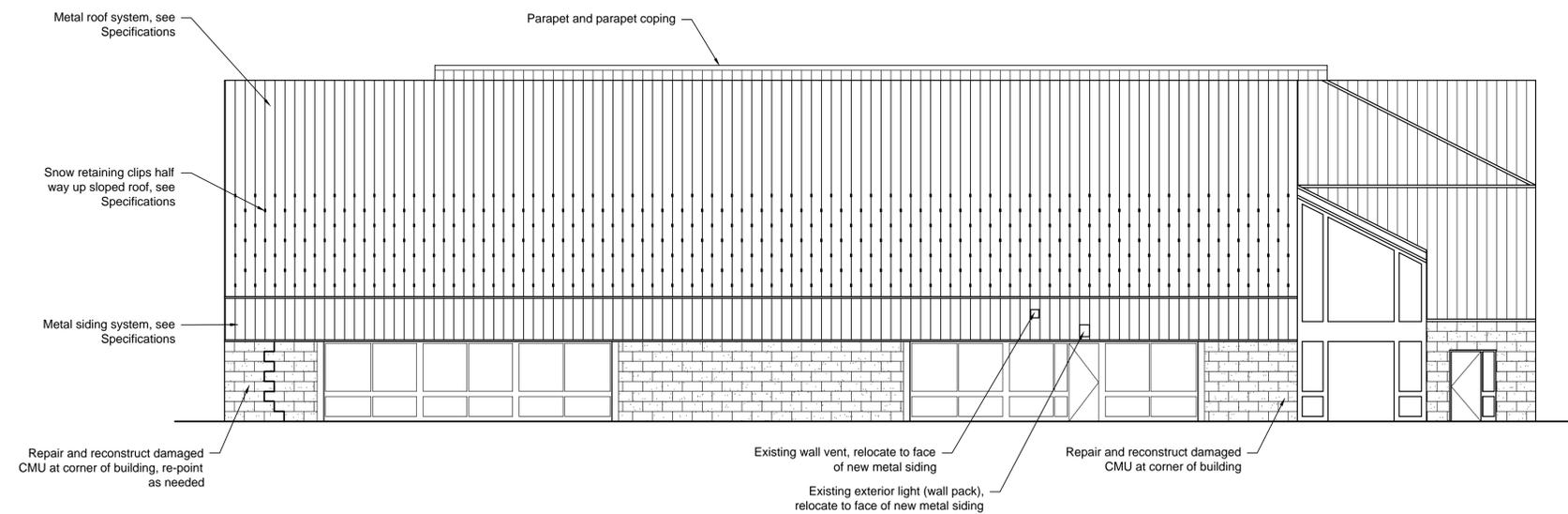
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**B5** East Elevation  
1/8" = 1'-0"



**D5** North Elevation  
1/8" = 1'-0"

project

**Kahle Community Center  
Improvements**

Douglas County Community Services  
P.O. Box 218  
Minden, Nevada 89423

revisions  $\Delta$

no.	description

drawn by PC

reviewed by PC

date 11/8/2017

project number 17016

drawing name

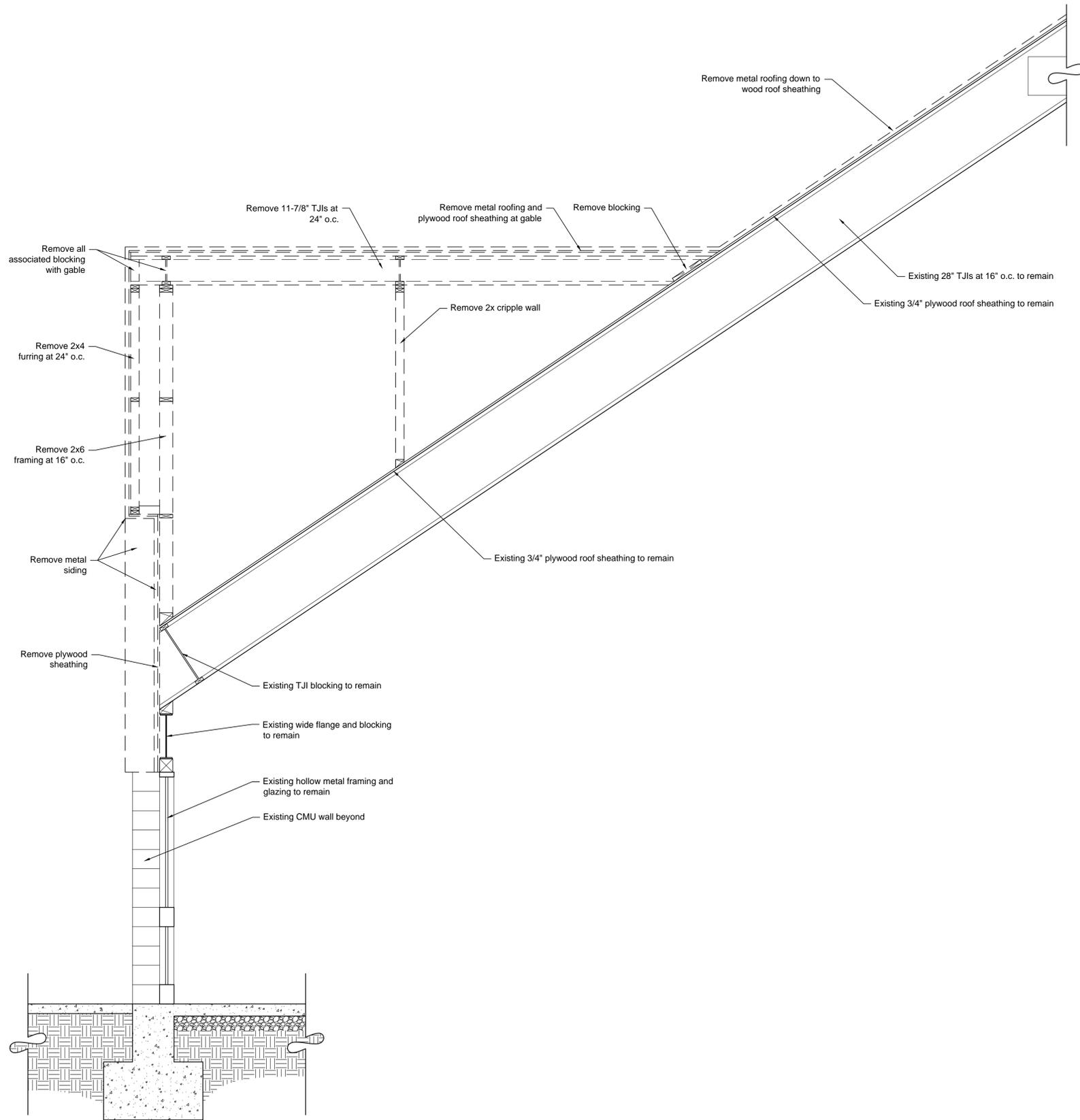
**Exterior  
Elevations**

sheet number

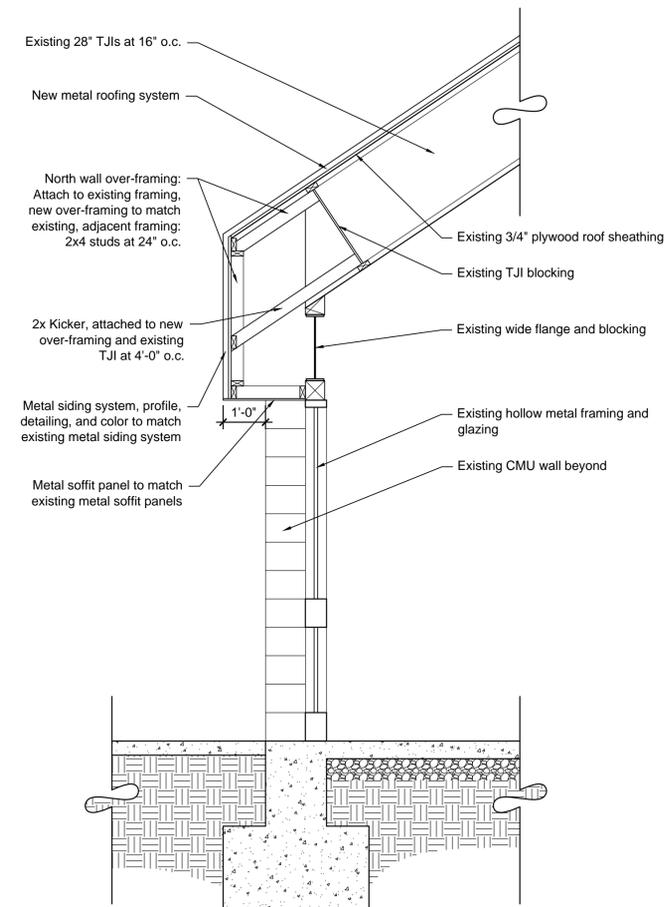
**A302**



no.	description



**D5 North Gable Section - Demolition**  
1/2" = 1'-0"



**D2 North Wall Section**  
1/2" = 1'-0"



Exterior Elevation Notes

1. Vertical carpet installation will occur only on the first level except for the elevator shaft wall facing the gymnasium.
2. All dimensions are approximate, verify all dimensions in the field prior to fabrication and installation of materials.
3. See Project Manual for additional information and requirements.

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**Interior  
Elevations**

sheet number

**A751**

