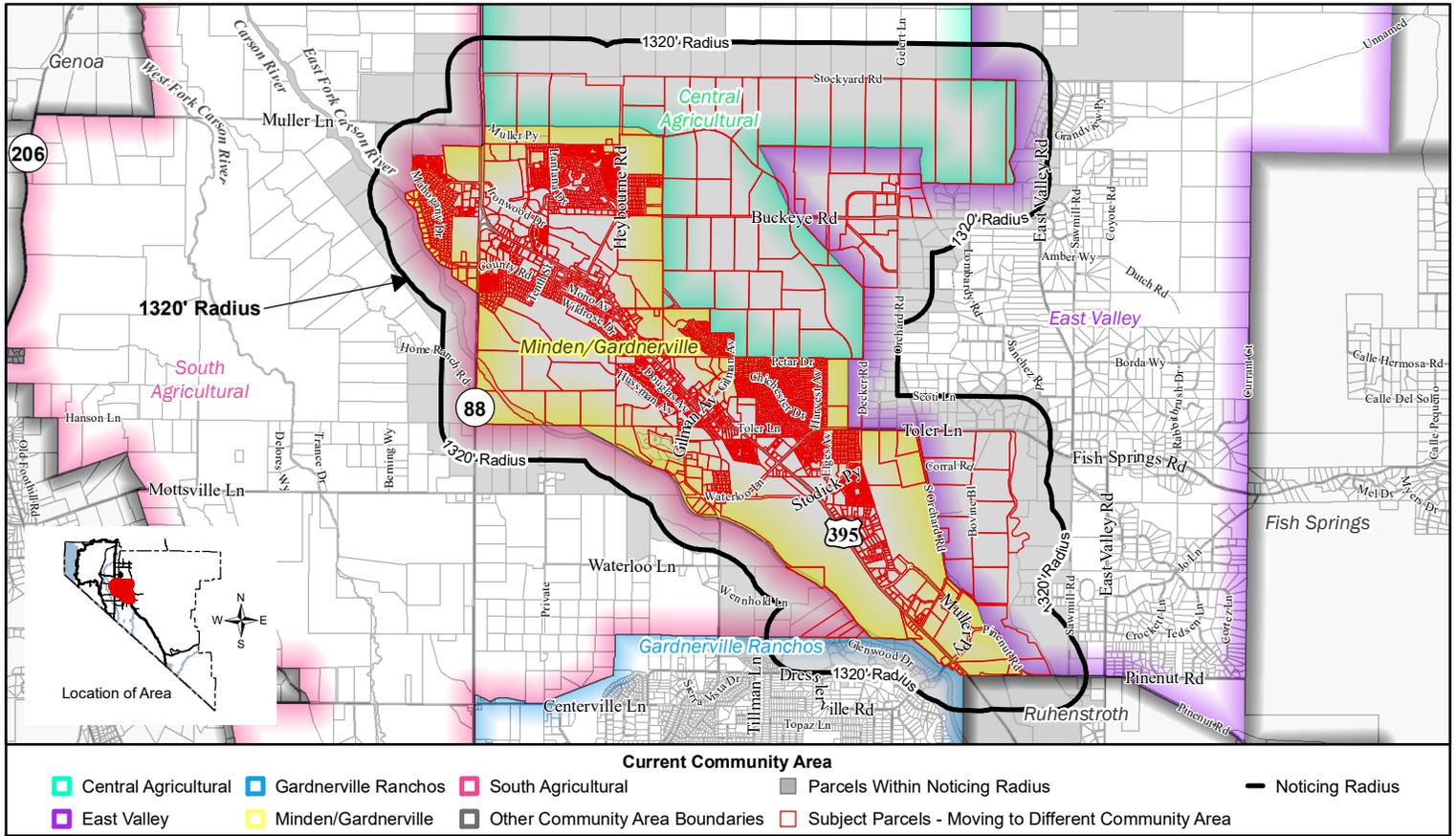


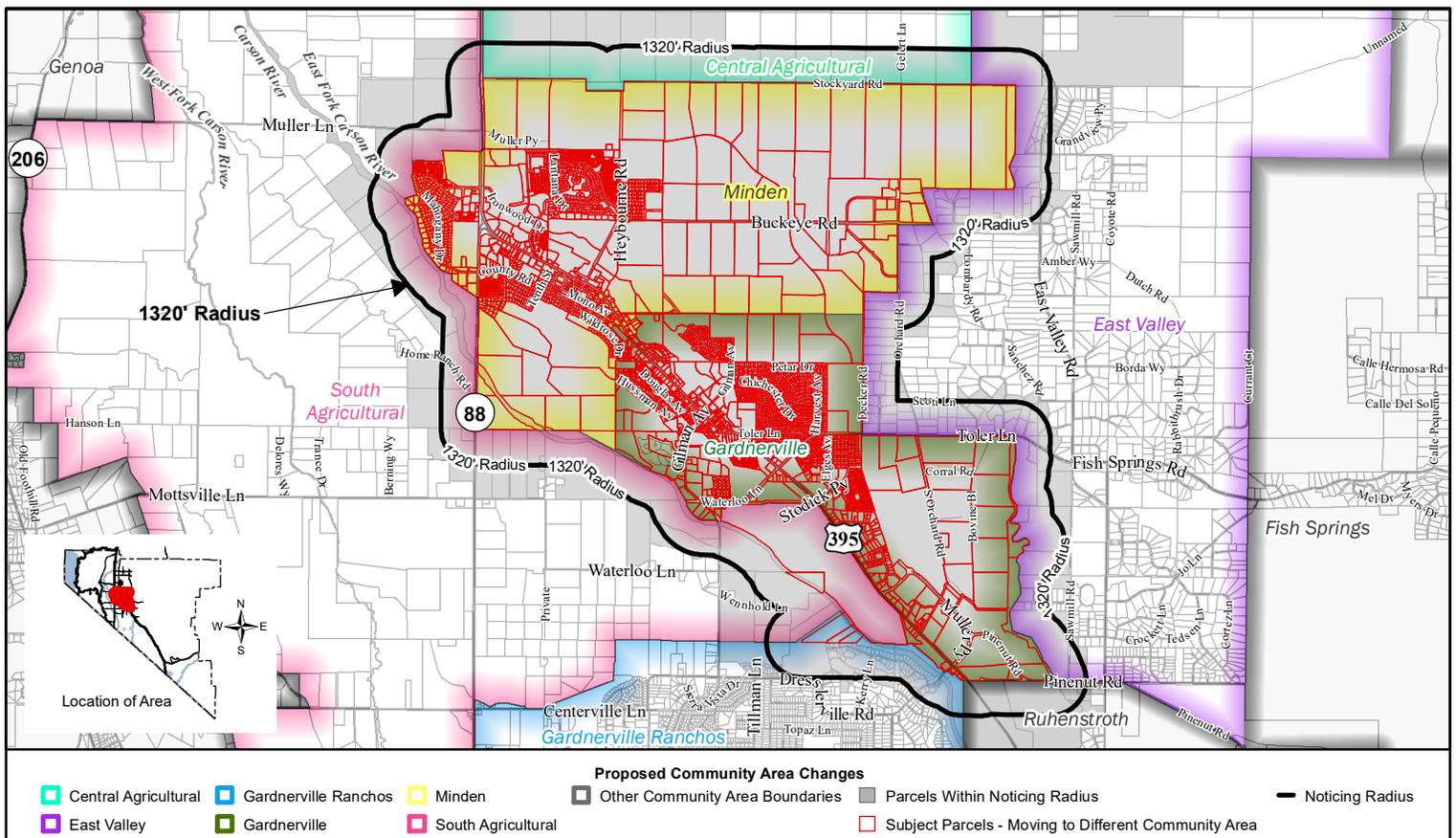


Douglas County Master Plan Noticing - Current Community Area

B.5, B.6,
B.7, B.8,
B.9, B.10,
B.11, B.12



Douglas County Master Plan Noticing - Proposed Community Area



The data contained herein has been compiled on a geographic information system (GIS) for the use of Douglas County. The data does not represent survey delineation and should not be construed as a replacement for the authoritative source, plat maps, deeds, resurveys, etc. No liability is assumed by Douglas County as to the sufficiency or accuracy of the data.

What does this map mean?

The attached map outlines current Community Plan boundaries and proposed changes to the following areas: the Minden/Gardnerville Community Plan, the South Agricultural Community Plan, the Central Agricultural Community Plan, the East Valley Community Plan, and the Gardnerville Ranchos Community Plan.

The parcels proposed to change from one Community Plan to a different Community Plan are outlined in red. You received this notice because the Community Plan for your property is proposed to change, or your property may be impacted because it is located within a certain proximity to the proposed changes.

What is a Community Plan Area/Boundary?

A Community Plan Area/Boundary is an area defined within the Douglas County Master Plan (Land Use Element, Chapter 2) with common characteristics and specific needs unique to that portion of the County. The Community Plan areas were established in the Master Plan to assist the County with addressing planning issues and special concerns identified for each area. Goals, policies and actions (including but not limited to design standards and special use provisions) set for each Community Plan establish the direction and priorities for County Leadership to follow to implement the Master Plan in a manner that is consistent with the unique characteristics and specific needs of that area of the County. The Community Plans contain Future Land Use Maps, which show the future Land Uses planned for that region or community. The designated Land Uses, and the other policies set forth in the text of the Master Plan, determine what type and intensity of future development will be supported by the County.

I have questions/comments regarding this Notice of Public Hearing what should I do?

In addition to the public hearings and written comment form provided in the notice, the County is inviting the public to attend a workshop at the locations and times identified below. The workshops will include an introduction by the County Manager, and a brief staff presentation regarding the proposed changes followed by a question and answer breakout session where citizens can also give feedback regarding the proposed changes.

**October 21, 2019 – Topaz Ranch Estates Community Center – 4:30pm to 6:30pm
3911 Carter Dr, Wellington**

**October 22, 2019 – Douglas County Community Center - 4:30pm to 6:30pm
1329 Waterloo Ln, Gardnerville**

**October 23, 2019 – Indian Hills GID Board Room – 4:30pm to 6:30pm
3394 James Lee, Carson City**

Douglas County Community Development will also host open office hours on **October 24, 2019 from 2:00pm until 5:00pm at the Minden Inn located at 1594 Esmeralda Avenue, Minden** for those members of the public unable to attend the public workshops, who would like to provide public comment and/or have additional questions.